

Tender Addendum No.1

Sunnyside Office Development

Pre-qualification Questionnaire for the
Procurement of Principal Building Contractor -
Tender Addendum No.1

10 October 2019

SECTION 1.0

GENERAL INFORMATION

Dear Tenderer

RE: Sunnyside Office Development – Pre-qualification Questionnaire for the Procurement of Principal Building Contractor -Tender Addendum No.1

In terms of the Tender, issued by Public Investment Corporation on the 30th September 2019, herewith please find enclosed the addendum for the subject project, which shall be included as part of the tender document submission when the tender closes.

Except to the extent modified by this Addendum, the original terms of the tender shall remain unchanged and binding on all the interested parties. The tenderer shall submit a copy of the addendum, including all tender deliverables specified in the original Tender Document.

The following changes are applicable to Tender Documents dated 30th September 2019

1.	Part B: Pre-Qualification Questionnaire Information and Instructions, Page 7	<p>Replace with attached Part B: Questionnaire Information and Instructions, Page 7</p> <p>Changes made:</p> <p>The project is anticipated to start April 2020 and Practical Completion is anticipated to be April 2023. Changed to: The project is anticipated to start April 2020 and Final Completion is anticipated to be April 2023.</p>
2.	Additional Information	Add attached Annexure C (Green Building Strategy)
3.	Additional Information (Drawings)	<p>See attached additional Drawings for Information Only:</p> <ol style="list-style-type: none"> 1. 16028 - A100 - AREA SCHEDULES – GBA 2. 16028 - A100 - AREA SCHEDULES – GBA 3. 16028-101-SDP - L01 BASEMENT LVL 05 4. 16028-106-SDP - L06 GROUND FLOOR LVL 5. 16028-110-SDP - L10 PARKADE LVL 04 6. 16028-111-SDP - L11 FACILITIES LVL 7. 16028-112-SDP - L12 PODIUM RECEPTION LVL 8. 16028-113-SDP - L13 OFFICE LVL 01 9. 16028-120-SDP - L20 OFFICE LVL 08 10. 16028-121-SDP - L21 OFFICE LVL 09 - T1 ROOF 11. 16028-122-SDP - L22 OFFICE LVL 10 - T3 ROOF 12. 16028-124-SDP - L24 ROOF 13. 16028-200-SDP - NORTHERN ELEVATION 14. 16028-300-SDP - SECTION AA 15. 16028-301-SDP - SECTION BB

Date: 10 October 2019

Project: Sunnyside Office Development

Subject: Pre-qualification questionnaire for the procurement of Principal Building Contractor -Tender Addendum No.1

Dear Tenderer,

I/We the undersigned hereby confirm that we have received addendum no 1.

Kindly confirm receipt of addendum no 1 by signing and returning this page to **enquiries4@pic.gov.za** no later than **Wednesday the 30th of October 2019.**

Company Name

Name & Surname

Signature

Designation

Date

1. PRE-QUALIFICATION INFORMATION AND INSTRUCTIONS

The purpose of the pre-qualification process is to invite you to pre-qualify for the proposed Sunnyside Office Development project in Sunnyside, Pretoria. The project consist of 51000m² super basement parking, 44000m² above ground parking, 7800 m² podium level and three office towers total area of 46500m².

Potential contractors are required to undergo a pre-qualification process that is designed to provide PIC with information to assist in the selection of potential contractors to tender for the works. The pre-qualification questionnaire (PQQ) responses will be evaluated in accordance with PIC's governance procedures. PIC intends that those who have adequately demonstrated that they have sufficient financial, economic, technical capacity, experience and ability to execute the project, be included in the tender process. The information requested will assist PIC in assessing each Contractor's capabilities and the more accurate the answers the better PIC will be able to match the Contractor's capabilities and PIC's needs to deliver this project.

The project is anticipated to start April 2020 and Final Completion is anticipated to be April 2023.

To assist PIC in evaluating the extent the submittals meet the pre-qualification requirements, all are required to duly complete the PQQ to ensure equitable consideration of all Questionnaires.

Responses to the PQQ will be used to inform decisions thus by responding fully to this questionnaire the Contractor warrants that:

- Their responses to the questionnaire are true and accurate.
- If requested by PIC, the Contractor will provide further evidence and / or examples to support the responses given.
- They will advise PIC on any material changes that occur during the vetting process or thereafter.
- Where evidence is required to be submitted with a response, Contractor's must ensure the same question reference is noted at the header of the document.
- All information submitted will be considered confidential and will be treated accordingly.
- Completion of this questionnaire does not guarantee that PIC will shortlist a Contractor for the tender stage.

Annexure C

(Green Building Strategy)

Sunnyside Labour Campus Development

Green Star SA Office v1.1 Strategy

MANAGEMENT	Points Avail	Points Targeted	Responsibility	4 Star Strategy
MAN01 Green Star SA Accredited Professional	2	2	Sustainable Building Consultant	2 GSSA AP on design team A principal participant in the design team is a Green Star SA Accredited Professional and has been engaged by the building owner to provide sustainability advice from the schematic design phase through to construction completion.
MAN05 Building Users' Guide	1	1	Building Owner/Solid Green	1 Building users' guide A simple and easy to use Building Users Guide, which includes information relevant for the building users, occupants and tenant representatives, is to be developed and made available to the building owner.
MAN06 Environmental Management	2	1	Environmental Consultant	1 EMP The contractor is to implement a comprehensive, project specific Environmental Management Plan (EMP) for the works in accordance with Section 3 of the New South Wales (Australia) Environmental Management System guidelines 2007/2009.
		1 * TBC		1 The contractor has valid ISO14001 Environmental Management System (EMS) accreditation prior to and throughout the project.
MAN07 Waste Management	3	3	Contractor	3 70% waste reused or recycled The contractor is to implement a Waste Management Plan (WMP), retain waste records and issue quarterly reports to the building owner; and 70% of all demolition and construction waste is to be reused or recycled.
Total		7 Targeted		
		1 * TBC		
IEQ	Points Avail	Points Targeted		4 Star Strategy
IEQ01 Ventilation Rates	2	1	Mechanical Engineer	1 Mechanical ventilation with 33% improvement For 95% of the UA, outside air is to be provided at a rate 33% greater than the requirements of SANS 10400-O:2011.
		1 * TBC		2 Mechanical ventilation with 66% improvement For 95% of the UA, outside air is to be provided at a rate 66% greater than the requirements of SANS 10400-O:2011.
IEQ04 Daylight	3	2	Architect	2 60% UA with adequate daylight 60% of UA is to have a measured Daylight Factor (DF) of not less than 2.0%, at desk-height level (720mm AFFL) under a uniform design sky. OR 60% of UA is to have a Daylight Illuminance (DI) of at least 250 Lux. OR 60% of UA is to have a Daylight Illuminance (DI) of at least 300 lux, based on an annual dynamic simulation model, for 50% of the standard occupied hours (Daylight Autonomy (DA) incremental method).
IEQ05 Daylight Glare Control	1	1	Architect	1 Blinds - Blinds are to be fitted on all glazing and atria as a base building provision and meet the following criteria: Eliminate 95% of all direct sun penetration; and Have a visual light transmittance (VLT) of <10%; and Can be controlled by all effected occupants within each floor or area
IEQ08 External Views	2	1	Architect	1 60% UA with sight outdoors and into atria 60% of the office UA to have a direct line of sight to the outdoors or into an adequately sized and day-lit atrium.
IEQ09 Thermal Comfort	2	1	Mechanical Engineer/ GSSAAP	1 Mechanical ventilation with PMV -1 to +1 The Predicted Mean Vote (PMV) levels, calculated in accordance with ISO7730 using standard clothing and metabolic rate values, are to be between 1 and +1, inclusive, for at least 98% of occupied hours during the year.
		1 * TBC		1 Mechanical ventilation with PMV -0,5 to 0,5 The Predicted Mean Vote (PMV) levels, calculated in accordance with ISO7730 using standard clothing and metabolic rate values, are to be between -0,5 and 0,5, inclusive, for at least 98% of occupied hours during the year.

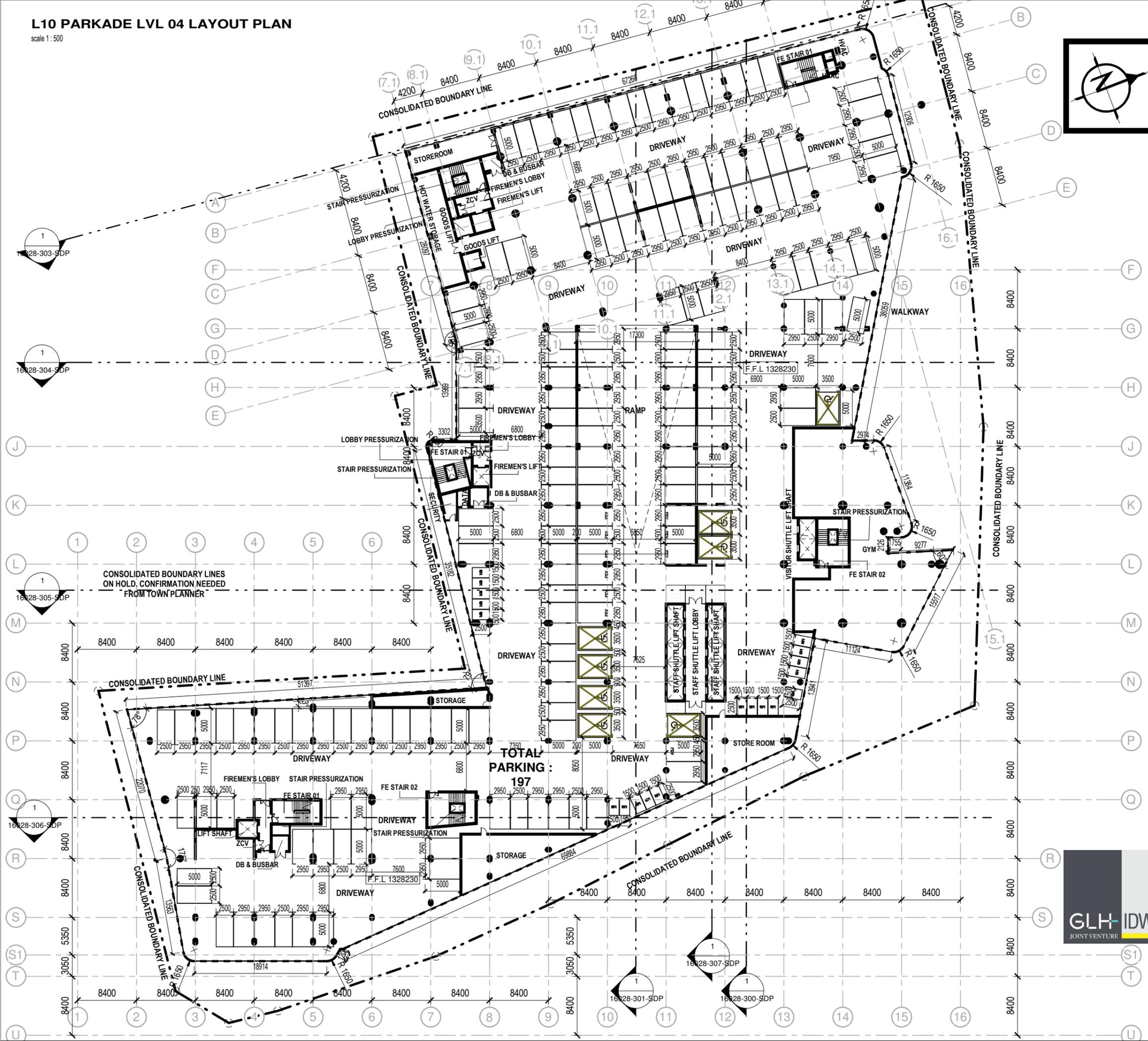
IEQ11 Hazardous Materials	1	NA	Contractor	NA No Existing structures on site For new developments where no buildings or structures were present at the time of purchase, this credit is 'Not Applicable' OR where demolition occurred prior to Oct 2010, this credit is 'Not Applicable'
IEQ13 Low VOC Paints	1	1	Architect	1 Low VOC Paints At least 95% of all painted surfaces are to meet the TVOC Content Limits outlined in Table IEQ13.1 of the Office v1.1 Technical Manual.
IEQ13 Adhesives & Sealants	1	1	Architect	1 Adhesives & Sealants At least 95% of all adhesives and sealants are to meet the TVOC Content Limits outlined in Table IEQ13.2 of the Office v1.1 Technical Manual.
IEQ13 Low VOC Carpets or Flooring	1	1	Architect	1 Low VOC Carpets or Flooring All carpets or Flooring meet the TVOC emissions limits outlined in Table IEQ13.3 of the Office v1.1 Technical Manual.
IEQ17 Environmental Tobacco Smoke (ETS) Avoidance	1	1	Building Owner	1 Environmental tobacco smoke avoidance Smoking is not to be allowed inside the building; No provision is to be made for smoking areas inside the building (e.g. separately exhausted smoking rooms); and There is to be clear signage indicating that smoking indoors is prohibited and identify
Total		10 targeted		
		2* TBC		
ENERGY	Points Avail	Points Targeted		4 Star Strategy
ENE00 Conditional Requirement	0	MET	Sustainable Building Consultant	met Refer to ENE-01 Refer to ENE-01
ENE01 Greenhouse Gas Emissions	20	8	Sustainable Building Consultant	8
ENE02 Electrical Energy Sub-metering	2	2	Electrical Engineer	2 Sub-metering 100kVA, Lighting & Small Power Sub-metering is to be provided for substantive energy uses within the building (i.e. all energy uses of 100kVA or greater); There is an effective mechanism for monitoring energy consumption data from all energy submeters; AND Submetering is to be provided for lighting and separately for power for each floor for 95% of the total UA
ENE03 Lighting Power Density	4	4	Electrical Engineer	4 Lighting power density of 1.5W/m2 per 100 Lux The lighting power density for 95% of the UA is to be 1.5W/m2 per 100 Lux at 720mm above FFL with the default maintenance factor of 0.8.
ENE04 Lighting Zones	2	1	Electrical Engineer	1 Individually switched zones All individual or enclosed spaces are to be individually switched (manual or occupancy sensors); The size of individually switched lighting zones is not to exceed 100m ² for 95% of the UA; and manual switching is to be clearly labelled and easily accessible by building occupants.
Total		15 Targeted		
TRANSPORT	Points Avail	Points Targeted		4 Star Strategy
TRA02 Fuel-Efficient Transport	2	2	Architect	2 Fuel-efficient vehicles A minimum of 5% of all parking spaces are dedicated solely for use by hybrid and other alternative fuel vehicles. All qualifying spaces must be located in preferred parking locations and be designed and labelled for the intended vehicle types; AND A minimum of 5% or 5 parking spaces (whichever is greater) are designed and labelled for mopeds, scooters and/or motorbikes, and all of these spaces must be located in preferred parking locations.
TRA03 Cyclist Facilities	3	2 *	Architect	2 Storage for 3% building staff - Visitor parking Safe, convenient cycling routes are provided between the office development and the adjacent street network; AND secure bicycle storage for 3% of building staff is provided (based on one person per 15m ² of UA); AND accessible showers are provided (based on one per 10 bicycle spaces provided or part thereof); AND changing facilities adjacent to showers are provided; AND one secure locker per bicycle space in the changing facilities is provided; AND visitor bicycle parking is provided and meets the following criteria: One space per 750m² UA or part thereof; and provided in an accessible location, signposted and close to, or adjacent to, a major public entrance to the building.

TRA04 Commuting Mass Transport	5	1	Traffic Engineer/Solid Green	1 Calculator = 10 The completed Green Star SA Office v1 Commuting Mass Transport Calculator indicates a minimum of 10 points are achieved, therefore the number of points for the credit is 1
TRA05 Local Connectivity	2	1	Architect / Solid Green	1 Local connectivity Safe, well lit, dedicated pedestrian facilities are to be provided between the office development and the adjacent street network, conforming to SANS 10246; and Four of the following are to be located within 400 m of a public entrance to the building:- Bank / ATM- Convenience Grocery / Supermarket- Day-care / School- Cleaner / Laundry- Medical / Dental Offices- Pharmacy- Post Office- Restaurant / Canteen / Cafeteria- Fitness Centre / Gym- Library
Total		6 Targeted		
WATER	Points Avail	Points Targeted		4 Star Strategy
WAT01 Occupant Amenity Water	5	3	Wet Services Engineer	3 3 points The potable water calculator result is 3 points. – Use of low flow fittings (taps , WC's, urinals and showerheads)
WAT02 Water Meters	2	2	Wet Services Engineer	2 Water meters Water meters are to be installed for all major water uses in the project; and effective monitoring system to be in place
WAT03 Landscape Irrigation - Point 1&2	2	1	Landscape Architect	1 50%irrigation reduction Potable water consumption for landscape irrigation is to be reduced by 50%; 90% OR installation of a xeriscape garden
WAT04 Heat Rejection Water	4	4	Mechanical Engineer	4 No water consumed [Natural or Mechanically Assisted Ventilation] No water consuming heat rejection systems are to be provided and the building is to be naturally or mechanically assisted ventilated
Total		10 Targeted		
MATERIALS	Points Avail	Points Targeted		4 Star Strategy
MAT01 Recycling Waste Storage	2	2	Architect	2 Adequately sized Storage facility provided A dedicated storage area is to be provided for the separation and collection of office consumables with good access for all building occupants and for collection by recycling companies; The storage area shall be adequately sized, in accordance with Table MAT-1.1 and comply with at least one of the following: - within 20m of the base of the lift core/principal vertical circulation serving all floor - within 20m of the exit used for recycling pickup - within 3m of the shortest route connecting the lift cores serving all floors and the exit used for recycling pickup
MAT02 Building Reuse	5	NA	Architect	NA No existing structures on site at time of purchase or GFA original building 20% less than new building The site contained no buildings at the time of purchase, OR The total GFA of the original building(s) is less than 20% of the GFA of the new building that replaces it, therefore this credit is 'Not Applicable'
MAT04 Shell and Core or Integrated Fit-out	1	1	Architect	1 Integrated fit-out 90% of the UA of the project is to be delivered as integrated fitout.
MAT05 Concrete	3	1	Structural Engineer	1 30 %Average reduction of Portland cement An absolute reduction of 30 % of OPC is achieved as an average across all concrete mixes.
MAT06 Steel	3	3	Structural Engineer	3 All Steel 90% of all steel (total of structural steel, reinforcing steel and steel products) by mass, in the project either is to be reused or as postconsumer recycled content of greater than 60%
Total		7 Targeted		
LAND USE & ECOLOGY	Points Avail	Points Targeted		4 Star Strategy
ECO00 Conditional Requirement	0	MET	Ecologist	met Developmental Footprint not within 100m of a watercourse The Eco-Conditional Requirement is met where the project development footprint: > Is not

				located on prime agricultural land > Is not located on vegetation of high ecological value or within a 100 meter buffer of vegetation of high ecological value > Is not located on land with confirmed presence or high probability of threatened red-listed species, or within a defined buffer relevant to the specific threatened red-listed species or habitat found > Is not located within the 100 year floodplain AND > Is not located within 100 meters of a watercourse.
ECO02 Reuse of Land	2	2	Architect	2 Reuse of Land within the urban edge The site is within the approved urban edge AND One of the following: - The project is to be refurbishment or a building extension. OR - If at the time of site purchase, the existing developing footprint (previously developed land) represents no less than 75% of the site area.
Total		2 Targeted		
EMISSIONS	Points Avail	Points Targeted		4 Star Strategy
EMI01 Refrigerant / Gaseous ODP	1	1	Mechanical /Wet Services Engineer	1 HVAC refrigerants and Gaseous Fire suppression systems have ODP of 0 HVAC refrigerants (including any heat pumps for DHW production) and gaseous fire suppressions system(s) have an Ozone Depleting Potential (ODP) of zero.
EMI04 Insulant ODP	1	1	Architect/ Mechanical / Wet Services Engineer	1 Thermal insulants with zero ODP No ozone depleting substances are associated with either the manufacture or the composition of all thermal insulants in the project.
EMI06 Discharge to Sewer	4	2	Wet Services Engineer / Solid Green	2 50%sewage reduction The building outflows to the sewerage system due to building occupants' usage are to be reduced by 50% against an average practice benchmark
EMI06 Discharge to Sewer - Blackwater	1	na	Wet Services Engineer	na ROUTE NA No Blackwater treatment system installed
EMI08 Legionella	1	1	Mechanical Engineer	1 No evaporative cooling towers or systems There are to be no evaporative cooling towers or other evaporative cooling systems serving the building.
Total		5 Targeted		
INNOVATION	Points Avail	Points Targeted		4 Star Strategy
INN02 Exceeding Green Star SA Benchmarks	10	0 1* TBC	Sustainable Building Consultant	1 Local Connectivity – To be determined by the entrances of all three buildings
INN03 Environmental Design Initiatives	10	3		2 Financial Transparency Explanation: The project submits a full set of their project financials in accordance with the relevant template provided for the relevant rating tool for new build- used for GBCSA research not public information
		3* TBC	Quantity Surveyor Project Team	1 Multiple Ratings_ Building Owner to be confirm going for Both Ratings 2 Online AP course – To be confirmed , project to confirm. Explanation: 5 Professional Team members and 4 Contractors have completed New Build Course 1 Stairs – To be confirmed Explanation: The project awarded an innovation point for providing prominent stairs at the entrance of the building to encourage building occupants to take the stairs and promote the well-being of occupants.
Total		3 Targeted 4* TBC		
TOTAL POINTS				50,1 TARGETED
				57,1 TBC

L10 PARKADE LVL 04 LAYOUT PLAN

scale 1 : 500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

CLIENT/ -REPRESENTATIVE SIGNATURE

CLIENT LOGO



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE,
PRETORIA, TSHWANE

DRAWING DESCRIPTION

L10 PARKADE LVL 04

SCALE	1 : 500	PRINT SIZE	A3	DRAWN BY	M Louw
PROJECT NUMBER	16028	DRAWING NUMBER	16028-110-SDP	CHECKED BY	M.L.
				REVISION	

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.



IDW GLH JOINT VENTURE

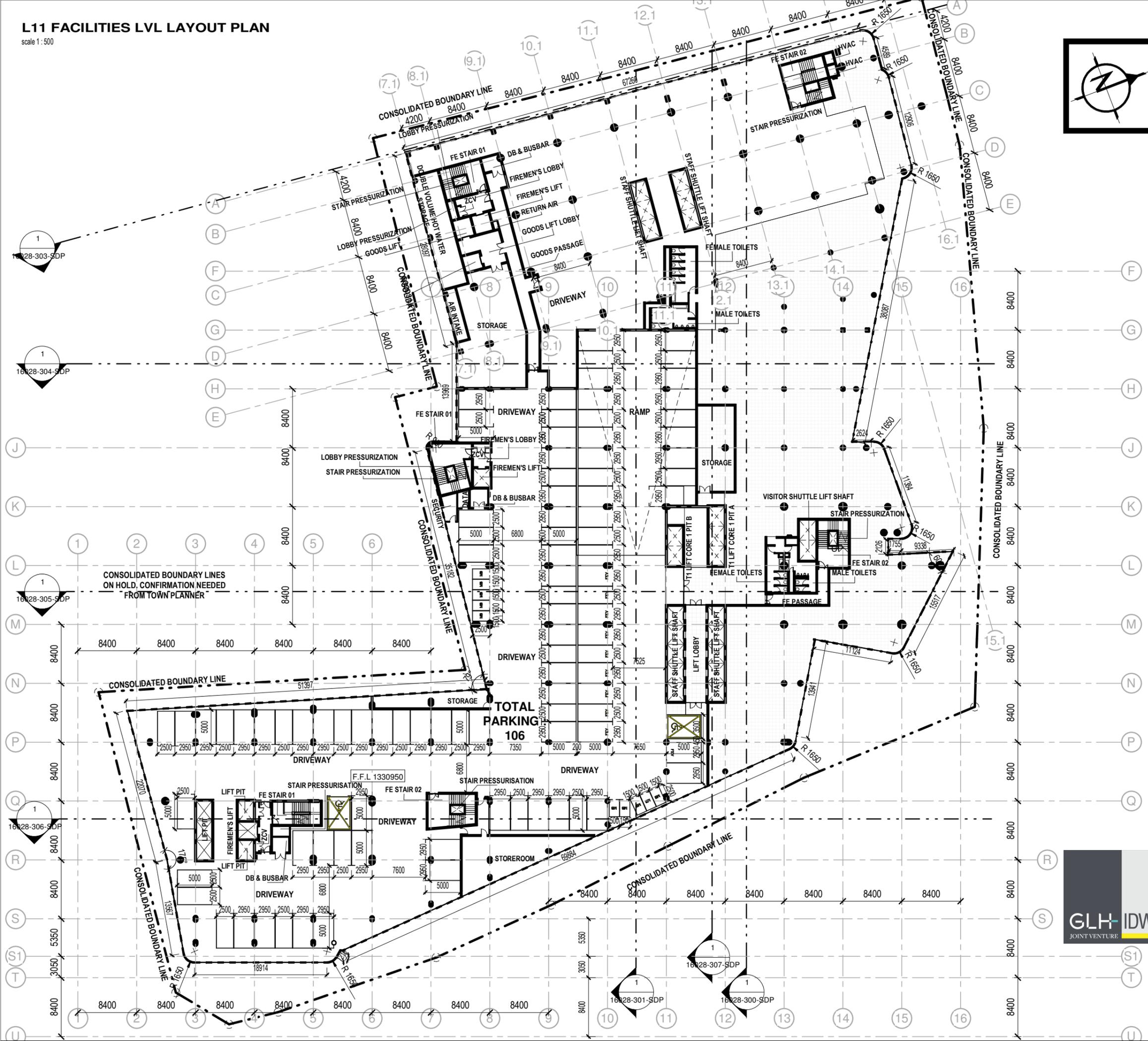
SAIA No. PG 0446 & PI 4669

JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za

L11 FACILITIES LVL LAYOUT PLAN

scale 1 : 500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

A 2019-09-26 ISSUED FOR TENDER

CLIENT/ -REPRESENTATIVE SIGNATURE

CLIENT LOGO



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION
L11 FACILITIES LVL

SCALE	1 : 500	PRINT SIZE	A3	DRAWN BY	B.K
PROJECT NUMBER	16028	DRAWING NUMBER	16028-111-SDP	CHECKED BY	M.L
				REVISION	A

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.



IDW GLH JOINT VENTURE

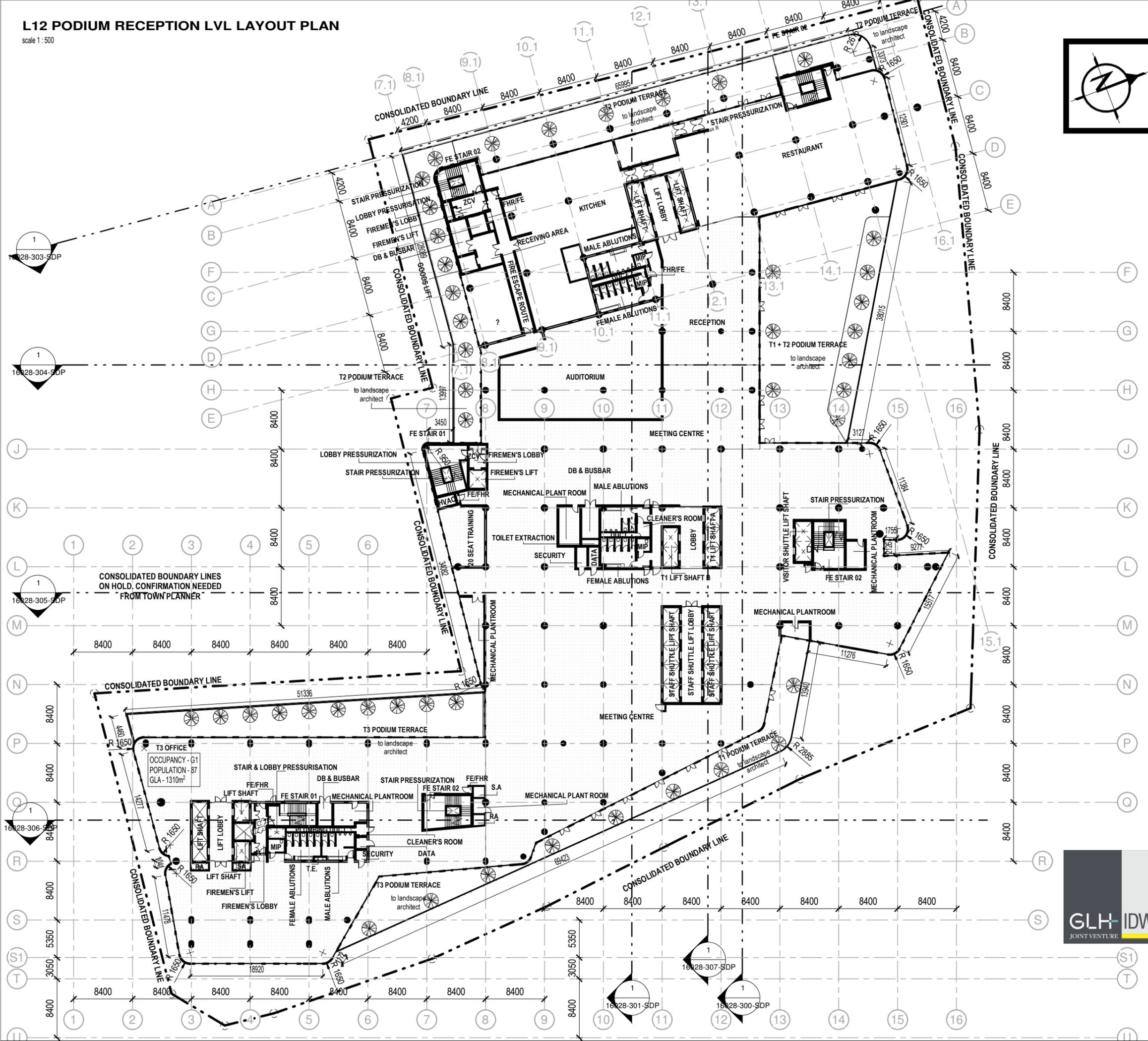
SAIA No. PG 0446 & PI 4669

JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za

L12 PODIUM RECEPTION LVL LAYOUT PLAN

scale 1 : 500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

A 2019-09-26 ISSUED FOR TENDER

CLIENT/ -REPRESENTATIVE SIGNATURE

CLIENT LOGO



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE,
PRETORIA, TSHWANE

DRAWING DESCRIPTION

L12 PODIUM RECEPTION LVL

SCALE 1 : 500	PRINT SIZE A3	DRAWN BY B.K
PROJECT NUMBER 16028	DRAWING NUMBER 16028-112-SDP	CHECKED BY M.L
		REVISION A

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.

GLH IDW
JOINT VENTURE

IDW GLH JOINT VENTURE

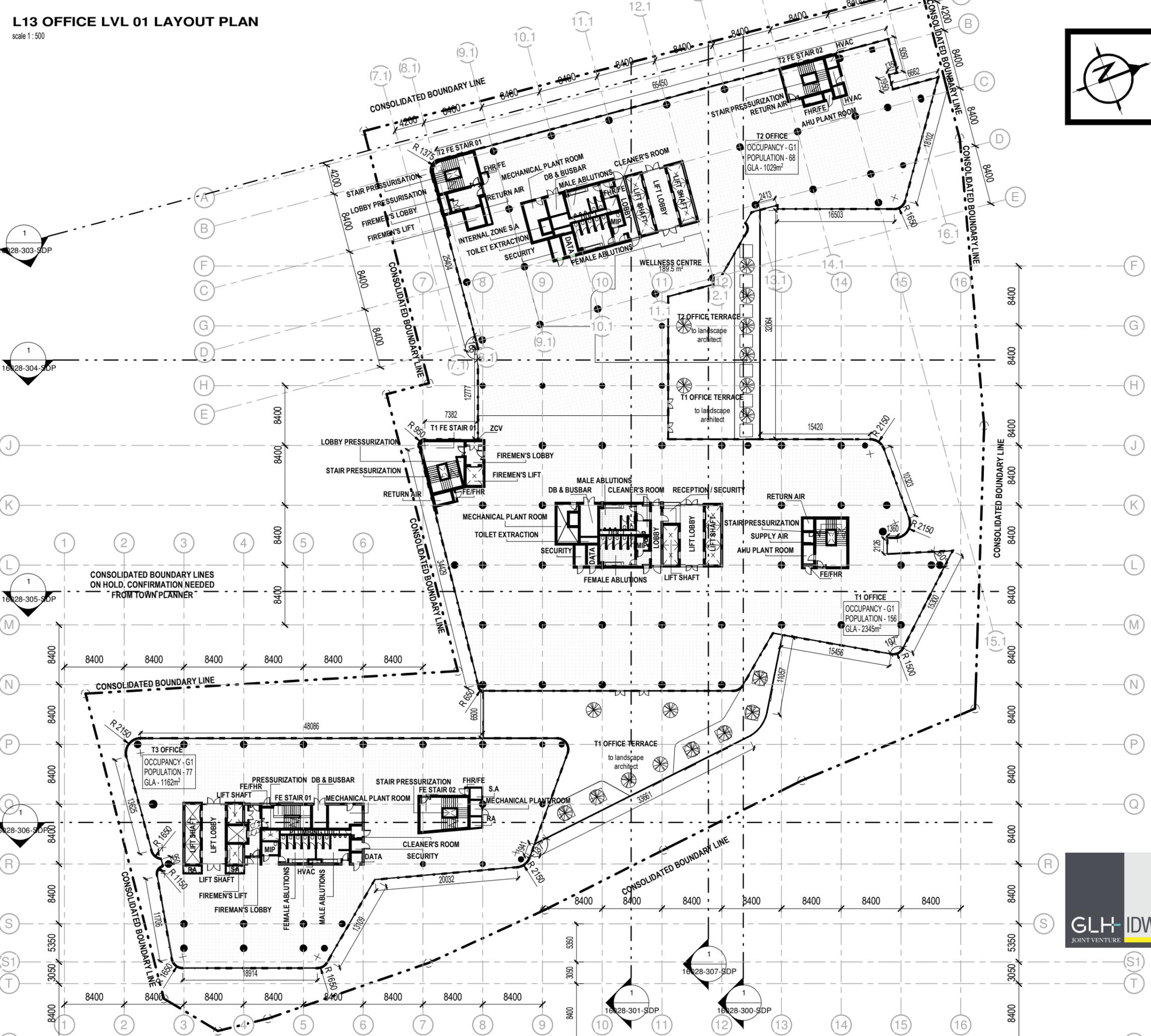
SAIA No. PG 0446 & PI 4669

JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za

L13 OFFICE LVL 01 LAYOUT PLAN

scale 1:500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

A	2019-09-26	ISSUED FOR TENDER
---	------------	-------------------

CLIENT/ -REPRESENTATIVE SIGNATURE



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT

C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION

L13 OFFICE LVL 01

SCALE	1:500	PRINT SIZE	A3	DRAWN BY	B.K
PROJECT NUMBER	16028	DRAWING NUMBER	16028-113-SDP	CHECKED BY	Checker
				REVISION	A

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.



IDW GLH JOINT VENTURE

SAIA No. PG 0446 & PI 4669

JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za

L20 OFFICE LVL 08 LAYOUT PLAN

scale 1:500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

CLIENT/ -REPRESENTATIVE SIGNATURE

CLIENT LOGO
 PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION
SUNNYSIDE OFFICE DEVELOPMENT

C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION
L20 OFFICE LVL 08

SCALE	1:500	PRINT SIZE	A3	DRAWN BY	M Louw
PROJECT NUMBER	16028	DRAWING NUMBER	16028-120-SDP	CHECKED BY	Checker
				REVISION	

FOR INFORMATION

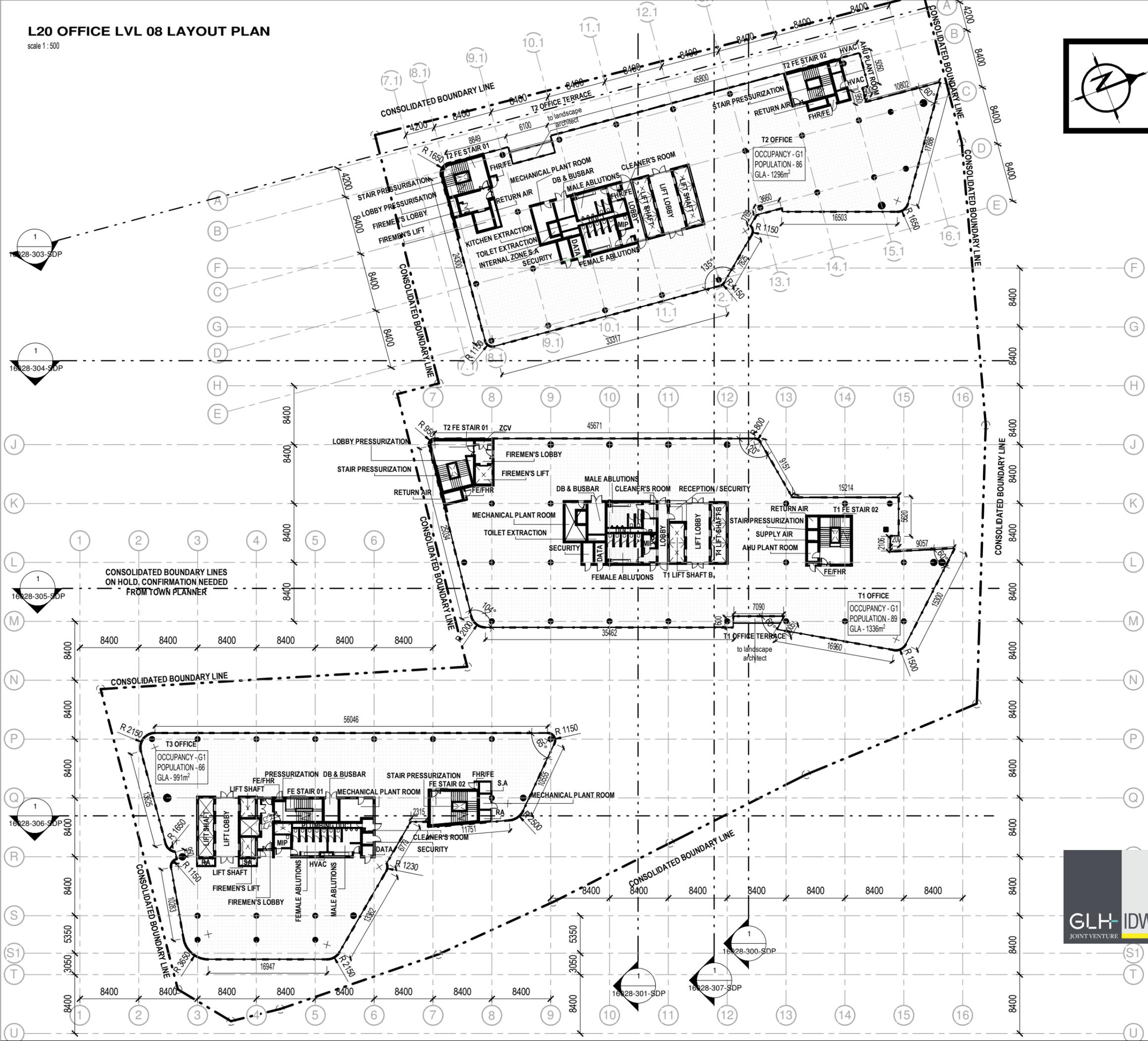
PROFESSIONAL'S SIGNATURE & REGISTRATION NO.

IDW GLH JOINT VENTURE

SAIA No. PG 0446 & PI 4669

JOHANNESBURG
 Ground Floor, La Roche,
 54 The Valley rd., Parktown
 PHONE +27 (0) 11 486 2770
 WEB www.glh.co.za

PRETORIA
 Office 1, 267b, West Avenue,
 Centurion
 PHONE +27 (0) 12 663 1918
 EMAIL info@glh.co.za



L21 OFFICE LVL 09/T1 & T3 ROOF LAYOUT PLAN

scale 1:500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

CLIENT / - REPRESENTATIVE SIGNATURE

CLIENT LOGO



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT

C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION

L21 OFFICE LVL 09 / T1 ROOF

SCALE	1:500	PRINT SIZE	A3	DRAWN BY	M Louw
PROJECT NUMBER	16028	DRAWING NUMBER	16028-121-SDP	CHECKED BY	Checker
				REVISION	

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.

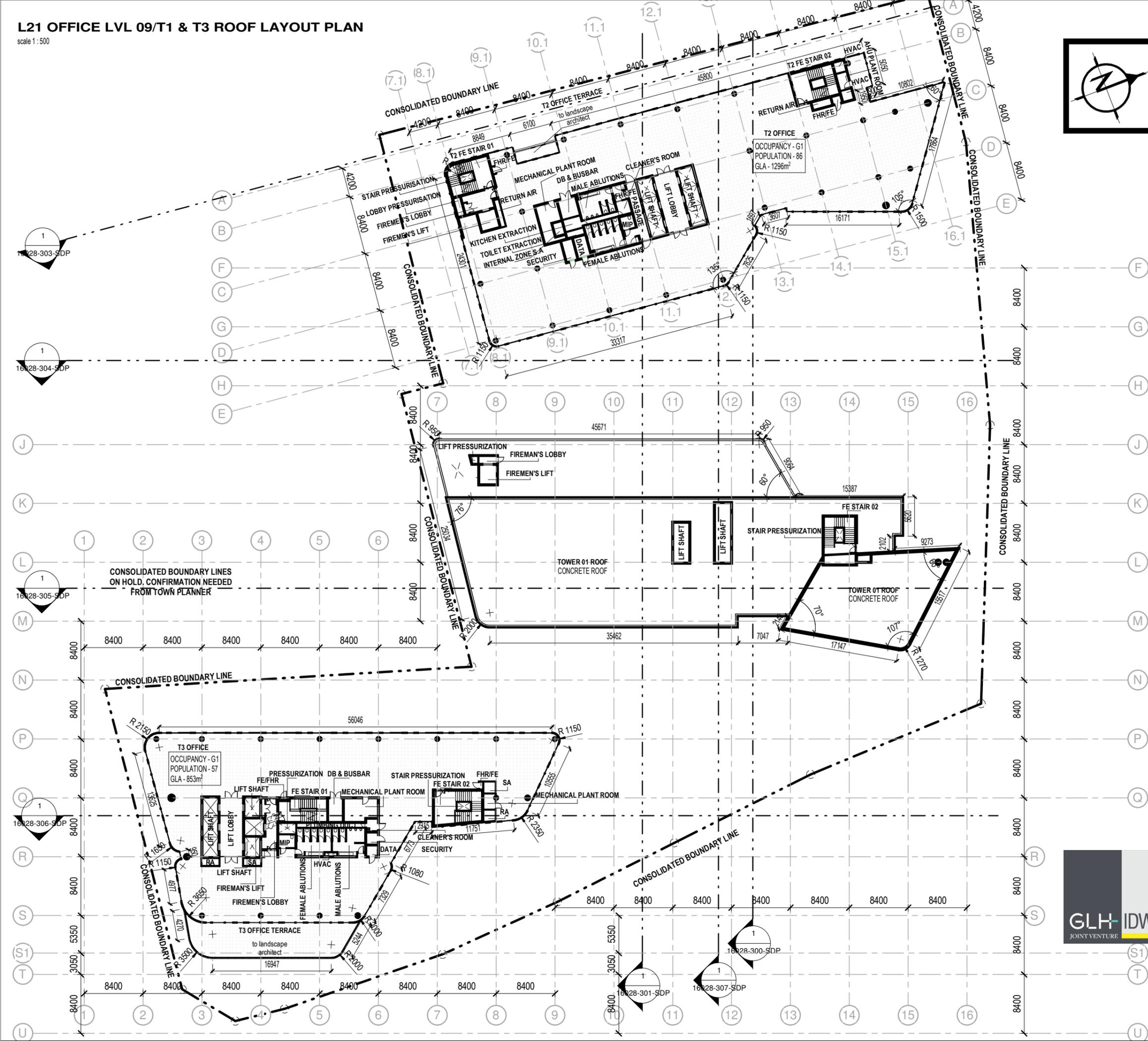


IDW GLH JOINT VENTURE

SAIA No. PG 0446 & PI 4669

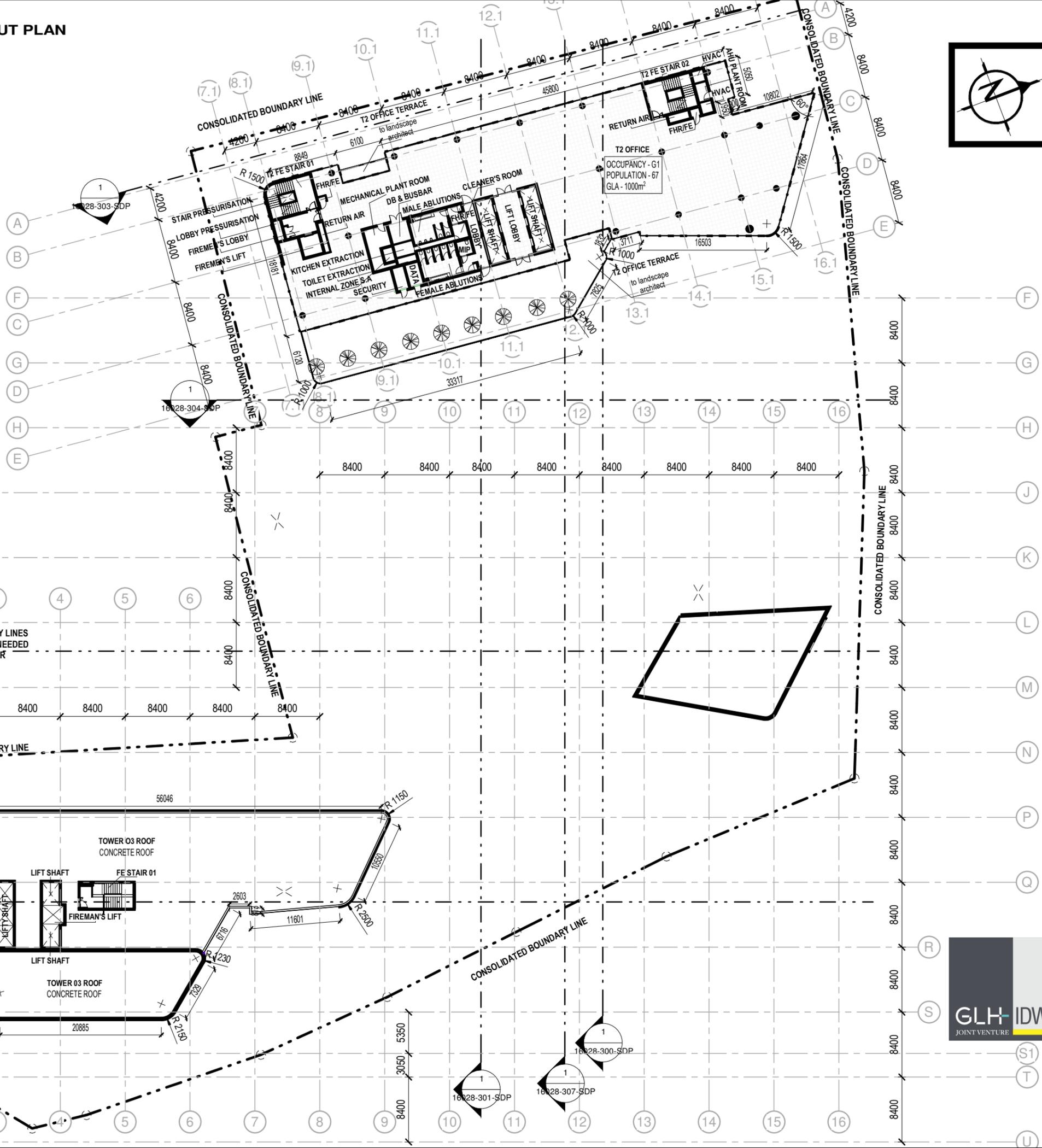
JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za



L22 OFFICE LVL 10 LAYOUT PLAN

scale 1 : 500



GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DESCRIPTION

CLIENT / -REPRESENTATIVE SIGNATURE



DETAILS
PUBLIC INVESTMENT CORPORATION

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION

SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION

L22 OFFICE LVL 10 / T3 ROOF

SCALE	1 : 500	PRINT SIZE	A3	DRAWN BY	M Louw
PROJECT NUMBER	16028	DRAWING NUMBER	16028-122-SDP	CHECKED BY	Checker
				REVISION	

FOR INFORMATION

PROFESSIONAL'S SIGNATURE & REGISTRATION NO.

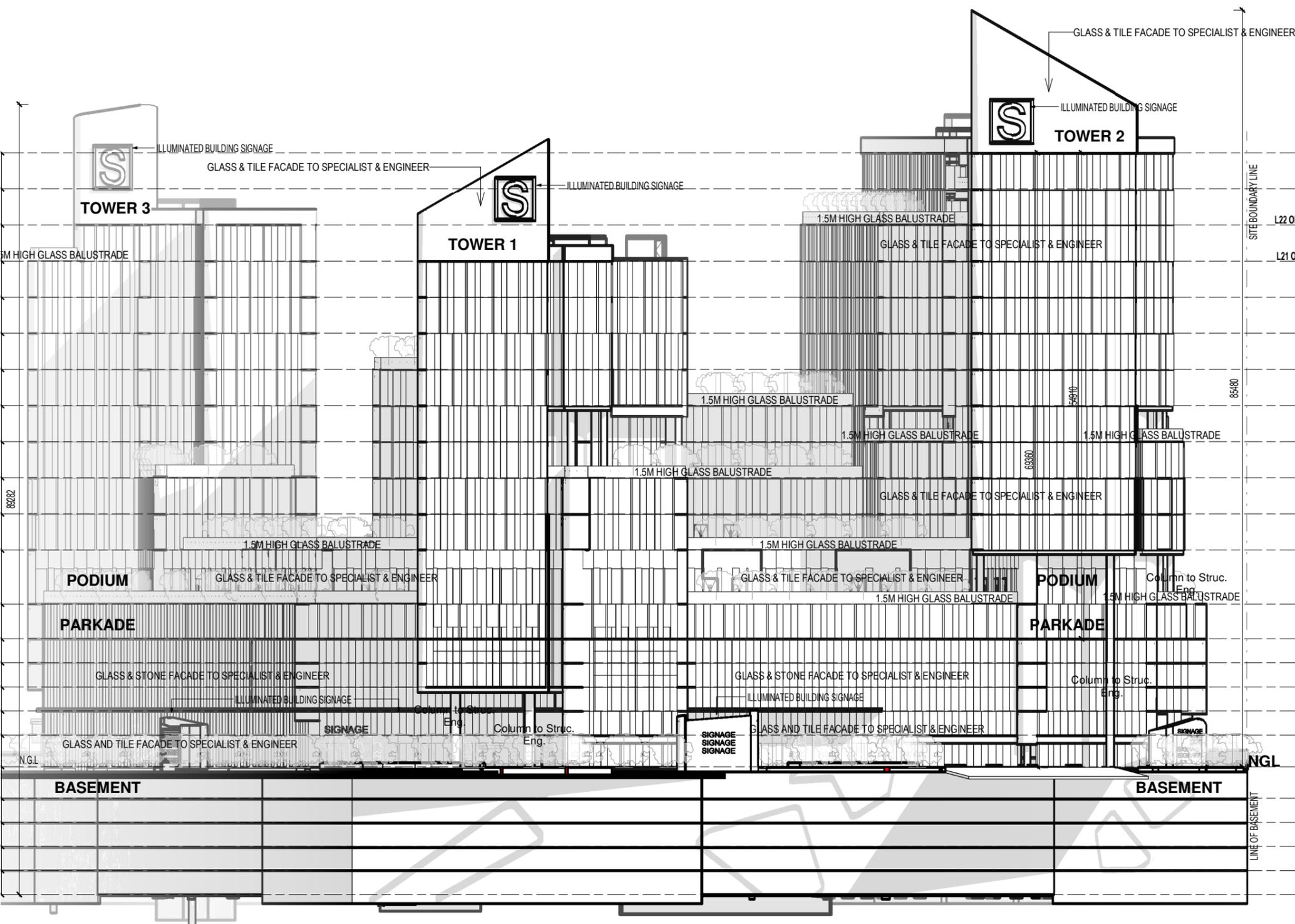


IDW GLH JOINT VENTURE

SAIA No. PG 0446 & PI 4669

JOHANNESBURG
Ground Floor, La Roche,
54 The Valley rd., Parktown
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918
EMAIL info@glh.co.za



NORTHERN ELEVATION

scale 1 : 500

GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] I.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV	ISSUE DATE	DRAWING REVISION DESCRIPTION
A	2018-12-03	STAGE 2 DELIVERABLES FOR INFORMATION
B	2019-09-26	ISSUED FOR TENDER

DRAWING LEGEND / KEY SITE PLAN

CLIENT LOGO	DETAILS
	PUBLIC INVESTMENT CORPORATION
DISCIPLINE	DETAILS

COPYRIGHT RESERVED
PROJECT NAME & DESCRIPTION
SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION
NORTHERN ELEVATION

SCALE	1 : 500	PRINT SIZE	A3	DRAWN BY	B.K
PROJECT NUMBER	16028	DRAWING NUMBER	16028-200-SDP	REVISION	1st. DATE
				B	09/26/19

FOR INFORMATION

REFER TO ARTIST'S INTERPRETATION PERSPECTIVES FOR FINISHES.

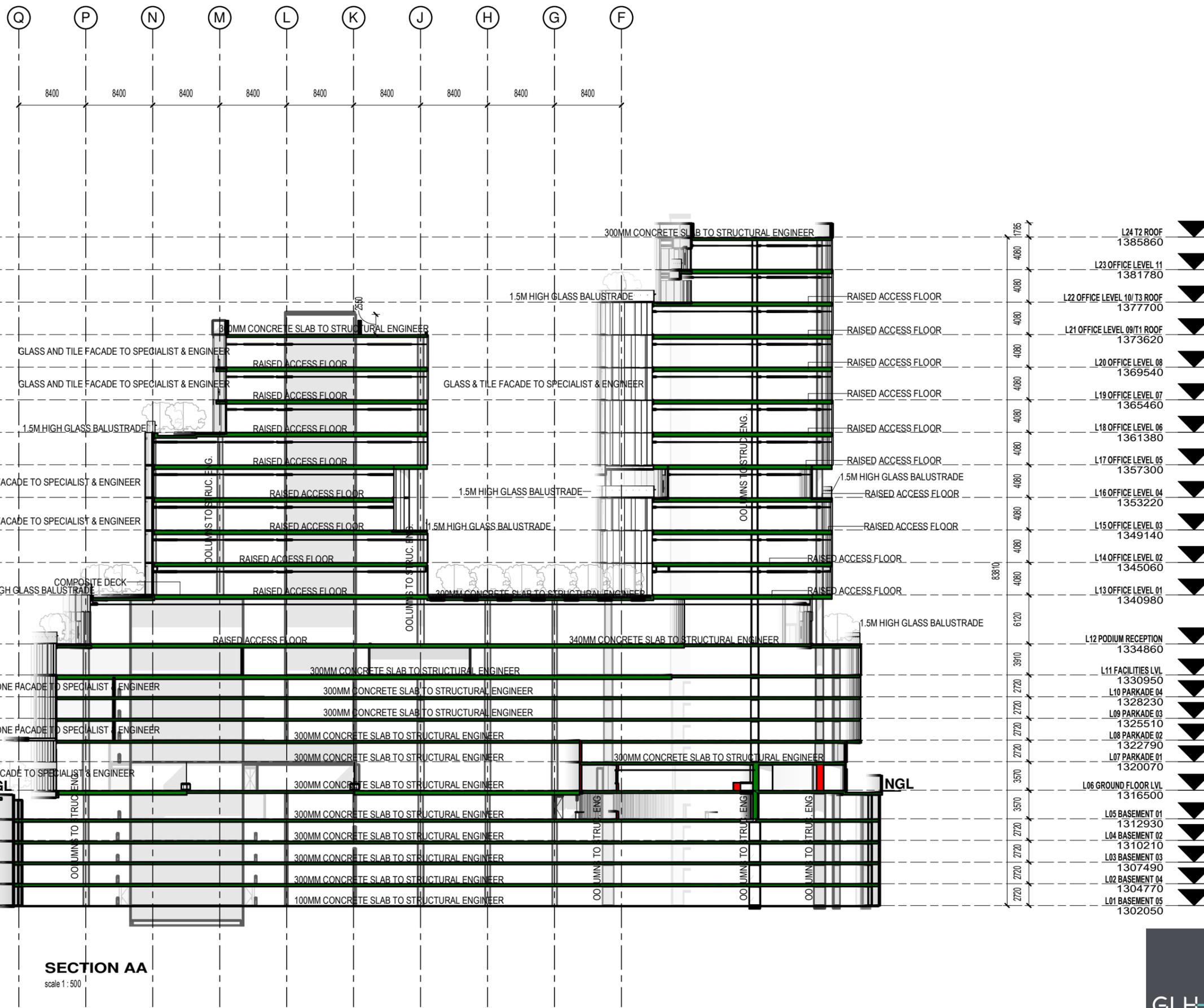


IDW GLH JOINT VENTURE

SAIA No. PG 0446

JOHANNESBURG
SIXTH FLOOR, 7 ANERLEY RD,
PARKTOWN
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918



SECTION AA
scale 1 : 500

GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] L.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV ISSUE DATE DRAWING REVISION DESCRIPTION

A	2018-12-03	STAGE 2 DELIVERABLES FOR INFORMATION
B	2019-09-26	ISSUED FOR TENDER

DRAWING LEGEND / KEY SITE PLAN

CLIENT LOGO 	DETAILS PUBLIC INVESTMENT CORPORATION
DISCIPLINE	DETAILS

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION
SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION
SECTION AA

SCALE 1 : 500	PRINT SIZE A3	DRAWN BY B.K
PROJECT NUMBER 16028	DRAWING NUMBER 16028-300-SDP	REVISION B
		1st. DATE 09/26/19

FOR INFORMATION

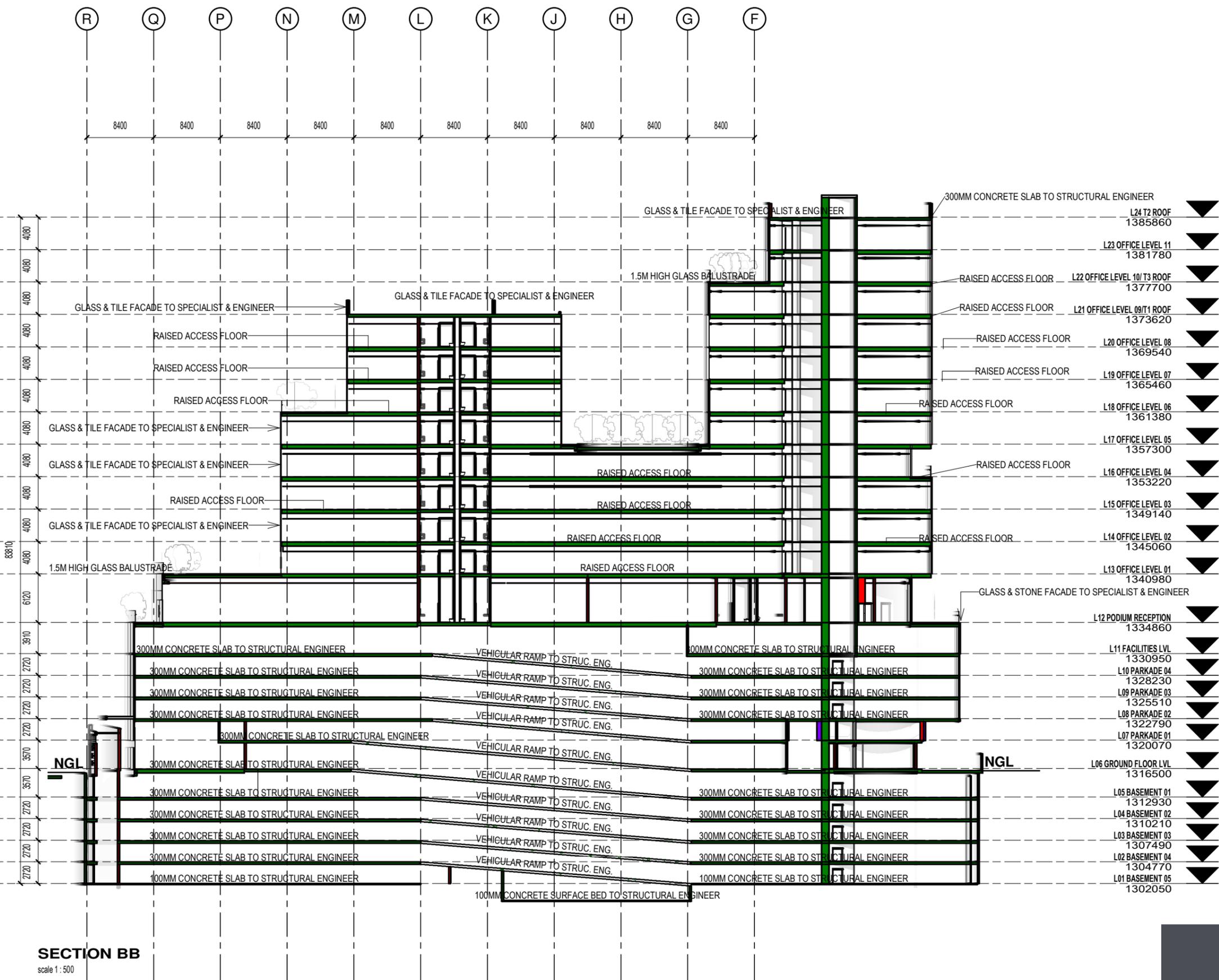


IDW GLH JOINT VENTURE

SAIA No. PG 0446

JOHANNESBURG
SIXTH FLOOR, 7 ANERLEY RD,
PARKTOWN
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918



SECTION BB
scale 1 : 500

GENERAL NOTES

[1] This drawing is the copyright of the architect. [2] The contractor is to check and verify the sufficiency of information, levels and dimensions on the drawing before commencing work. [3] Any omissions, discrepancies or errors are to be reported to the architect immediately. [4] Dimensions are not to be scaled from drawing. [5] Should the contractor proceed without the above approval, he does so entirely at his own risk. [6] All materials and building works are to be fixed, applied and carried out in accordance with the SABS 0400 national building regulations, local bylaws and manufacturers' specifications. [7] Each contractor and material supplier is assumed to be experts in their field and is responsible for the product produced by them. Should they believe that site conditions or the use of their product are not conducive to the production of an acceptable product, they are to report same. [8] I.E.'s to be at changes in direction on all plumbing pipes. [9] R.E.'s to drains to be installed every 25 meters and at the head of every sewer run. [10] Min. Fall for 100mm drains 1:60, and min. Fall for 150mm pipes, 1:250. [11] No backfilling to take place prior to inspection and approval from the relevant consultants and inspectors. [12] All glazing to be in accordance with part 'N' of the national building regulations. [13] Where demarcated, specialist shop drawings are required, and are to be approved prior to manufacture and installation. [14] All brickwork to be in accordance with the NHBRC building manuals as well as in accordance with the details and the general notes on the engineers' drawings. [15] All dimensions to be checked/measured on site prior to manufacture.

REV	ISSUE DATE	DRAWING REVISION DESCRIPTION
A	2018-12-03	STAGE 2 DELIVERABLES FOR INFORMATION
B	2019-09-26	ISSUED FOR TENDER

DRAWING LEGEND / KEY SITE PLAN

CLIENT LOGO 	DETAILS PUBLIC INVESTMENT CORPORATION Est. 1991
DISCIPLINE	DETAILS

COPYRIGHT RESERVED

PROJECT NAME & DESCRIPTION
SUNNYSIDE OFFICE DEVELOPMENT
C/O PARK STR & STEVE BIKO STR, SUNNYSIDE, PRETORIA, TSHWANE

DRAWING DESCRIPTION SECTION BB			
SCALE 1 : 500	PRINT SIZE A3	DRAWN BY B.K	
PROJECT NUMBER 16028	DRAWING NUMBER 16028-301-SDP	REVISION B	1st. DATE 09/26/19

FOR INFORMATION



IDW GLH JOINT VENTURE

SAIA No. PG 0446

JOHANNESBURG
SIXTH FLOOR, 7 ANERLEY RD,
PARKTOWN
PHONE +27 (0) 11 486 2770
WEB www.glh.co.za

PRETORIA
Office 1, 267b, West Avenue,
Centurion
PHONE +27 (0) 12 663 1918